

## 1. WHY ARE BUILDING PERMITS REQUIRED?

Building permits are required to ensure that all buildings are constructed in a safe and healthful manner. They are also required to insure that a new use in an existing building does not interfere with life and structural safety elements in an existing building.

We all need protection from tragedy due to fire, structural collapse and general deterioration of the structures around us. Obtaining a Building Permit provides the owner with expert advice and methods to ensure that those needs are fulfilled.

## 2. WHEN ARE BUILDING PERMITS REQUIRED?

Building Permits are required for the following:

- New Buildings
- Additions
- Renovations
- Demolitions
- Creation of an Apartment-in-house
- Pre-fabricated buildings
- Mobile homes
- Installation or alteration to a building system (such as plumbing, heating or air conditioning)
- Farm buildings
- Fireplaces and other solid fuel appliances, wood and pellet stoves
- Decks and porches
- The change in use of any building
- Finished basement

Building permits are not required for new buildings with a building area less than 10 square metres (108 square feet). Decks not attached to the house and less than 10 square metres (108 square feet) in area do not require a permit. Decks larger than 10 square metres (108 square feet) and all decks attached to a dwelling which are more than 0.60 metres (2 feet) above grade require a building permit. However, zoning by-laws requirements regulate the location of all buildings and decks. Check with the Building Division if you are unsure how this applies to your situation.

**Call (905) 623-3379 for more information.**

## 3. WHAT IS THE PROCESS TO OBTAIN A BUILDING PERMIT?

### PERMIT APPLICATION:

To obtain a permit, the owner or an agent authorised in writing by the owner must file an application by completing the prescribed form at the Municipal Administration Centre.

Every application must be accompanied by 2 copies of the prescribed plans, specifications and the Permit fee payable to the Municipality of Clarington.

### PLANS REVIEW:

Permit plans will be reviewed by the Building Division for compliance with the Ontario Building Code, by the Planning Department for conformance to planning related applications, the Fire Department (if required) and the Engineering Division for lot grading control and lot access, if required.

### APPROVAL FROM OTHER AGENCIES:

It is the responsibility of the applicant to obtain approvals from other agencies (where required) prior to the issuance of the Building Permit. The Building Division staff will assist you in determining which additional approvals are necessary.

### ABANDONED APPLICATIONS:

A permit may be revoked if construction does not commence within 6 months from the date that the permit was issued. This period may be extended if written notice is given to the Building Division prior to the expiry date. A written notice is required for a portion of the permit fee to be refunded for withdrawn permits.

## 4. WHAT IS A PERMIT APPLICATION?

### An application for Building Permit consists of:

- A completed application form
- Application fees
- Plans, drawings and specifications

Sufficient information must be submitted with each application to enable the Chief Building Official to determine whether or not the proposed work will conform with all the applicable regulations.

Two complete sets of building plans and specifications drawn to scale including the following must be provided.

- Site plan
- Certified lot grading plan (4 copies where applicable)
- Foundation plans
- Floor plans of every floor
- Framing and structural plans
- Cross-sections and details
- Mechanical heating, ventilation and air-conditioning plans, including heat loss calculations
- Building elevations of all exposed building faces
- P.Eng sealed drawings for all components required to be designed by a professional engineer
- Sample drawings and specifications are available from the Building Division

Where *required* by the Ontario Building Code, plans must be sealed and signed by an architect, professional engineer or both. Site plans must be referenced to a current plan of survey.

## 5. HOW LONG DOES IT TAKE TO GET A PERMIT?

The time required for the processing of a Building Permit application varies in accordance with:

- the quality and completeness of the information submitted
- the degree of compliance of the plans with the applicable regulations
- the approval of other departments and agencies
- The Ontario Building Code has specific time frames for Municipalities to review permit applications. This is applicable for complete applications only. Please contact the Building Division for more information.

Applicants should note that all applications are processed as quickly as possible.

## 6. HOW MUCH WILL IT COST?

In most cases the cost of the building permit is based on the area of the building, however in some cases i.e.

sundecks, porches, etc. the fee is fixed. The Building Division staff will advise you of the fee applicable to your application. Fees payable to other agencies i.e. Region of Durham Health Dept., Conservation Authority, etc. are in addition to the building permit fee.

## 7. WHO DO I NEED TO TALK TO WHEN I NEED HELP?

The Building Division staff are prepared to provide reasonable assistance when requested to do so, but must refrain from assisting in the laying out of any work, or acting in the capacity of an engineering or architectural consultant, or providing references for any trade or consultant.

### For information contact:

#### The Building Branch

Phone: (905) 623-3379 Facsimile: (905) 623-1824

#### Inspection Service (24hrs): (905) 623-7876

#### Region of Durham Public Works Department

605 Rossland Road East, Whitby, Ontario. L1N 6A3  
(905) 668-7711

#### Region of Durham Planning and Development

4th Floor, Lang Tower 1615 Dundas Street East,  
Whitby, Ontario. L1N 1A6  
(905) 723-8521,

#### Region of Durham Health Department

101 Consumers Drive,  
Whitby, Ontario. L1N 1C4  
(905) 723-3818

#### Central Lake Ontario Conservation

100 Whiting Avenue, Oshawa, Ontario. L1H 3T3  
(905) 579-0411

#### Ganaraska Region Conservation Authority

Hwy 28/401, Port Hope, Ontario. L1A 3W4  
(905) 885-8173

#### Electrical Permit

Ontario Hydro 1-800-305-7383

## 8. WHAT PLANS, DRAWINGS AND SUPPORTING INFORMATION MUST BE SUBMITTED WITH A BUILDING PERMIT APPLICATION?

### Site Plan:

- Lot dimensions
- All proposed and existing buildings shown
- Street names
- Setback dimensions from all property lines
- Certified lot grading plans ( Where required )

### Floor Plans:

- Floor plan of every floor including basements and crawlspaces
- Dimensions
- Room names and uses
- Floor joist direction and sizes
- Structural lintels and beams
- Plumbing fixture locations
- Cabinets and fixtures

### Foundation Plans:

- Footing and foundation locations
- Footing sizes
- Column and pier support
- Floor joist direction and sizes
- Structural lintels and beams

### Framing and Structural Plans:

- Floor joist direction and sizes
- Bearing walls and beams
- Header joist, trimmer joist and rim joist locations
- Support for non-bearing partitions
- Roof truss layout
- Ceiling joists and rafter direction and sizes
- Roof joist direction and sizes
- P.Eng truss designs
- P.Eng drawings for structural elements outside Part 9 of the Ontario Building Code

### Cross Section and Details:

- Complete typical cross section from footings to roof ridge and from exterior wall to exterior wall
- Wall construction details
- Floor construction details
- Roof construction details
- Insulation values and locations
- Air barrier details
- Floor to floor dimensions
- Footing and foundation details

### Building Elevations:

- All exposed views of the exterior of the building or additions
- Window and door sizes and locations
- Material types
- Roof pitch and chimney locations
- Exposed building face calculations

### Mechanical and Electrical Plans:

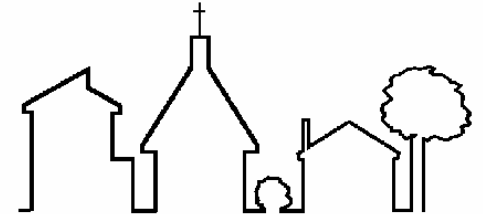
- Identify heating fuel type
- Supply and return trunk duct sizes and locations for every floor
- Furnace size and location
- Ventilation fan and duct sizes
- Thermostat and fan switch locations
- Principal exhaust fan size and location
- Heat recovery ventilation supply and return duct sizes and calculation sheets
- Smoke alarm and carbon monoxide detector locations
- Electrical lighting and switch locations
- HRAI or P.Eng certified mechanical heating, ventilation and air-conditioning designs
- Residential ventilation sheet summary
- Site Servicing
- Fire Protection
- Plumbing

### Notes:

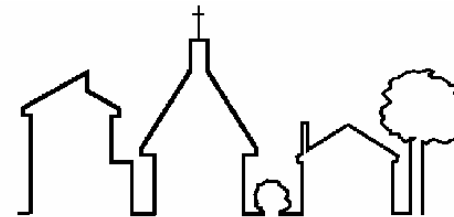
The designers may be required to be Registered and/or Qualified. For information click on the "Qualification and Registration" link on the following website: [www.obc.mah.gov.on.ca](http://www.obc.mah.gov.on.ca). The Municipality is unable to issue a building permit if the designers are not appropriately qualified and/or registered. This includes Architectural and Engineering firms, or Drafting firms that provide design services.



### BUILDING PERMITS



### A Guide to Understand the Process



Municipality of Clarington  
Building Division  
40 Temperance Street  
Bowmanville, Ontario.  
L1C 3A6

Phone (905) 623-3379 Fax (905) 623-1824